

**CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL**

BY-LAW NO. 2019-16

**"BEING A BY-LAW TO AUTHORIZE AMENDMENT TO THE SITE PLAN
CONTROL AGREEMENT REGISTERED AS INSTRUMENT PR172032,
AS AUTHORIZED BY BY-LAW 2001-49**

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal entered into a Site Plan Control Agreement with Gary Bolton operating as Superior Motor Sports by By-law 2001-49 at the regular meeting of Council on August 20, 2001, which Agreement was registered on November 14, 2002 as Instrument No. PR172032; and

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal entered into an Amendment Agreement to Site Plan Control Agreement By-law 2001-49 by By-law 2004-44 at the regular meeting of Council on September 20, 2004, which Amendment Agreement was registered on December 2, 2004 as Instrument No. PR185593; and

WHEREAS the property described in the Site Plan Control Agreement was conveyed from Gary Bolton operating as Superior Motor Sports to Steven Leslie Hines operating as Distant Shores Trading Co. herein after referred to as the "Owner" by Transfer/Deed GC5000 registered on April 30, 2010; and

WHEREAS Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P. 13, as amended to the Council of the Corporation of the Township of Edwardsburgh/Cardinal to enter into and amend such agreements; and

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal wishes to amend Schedules "A" through "C" of Site Control Agreement Instrument No. PR172032 to reflect the change in description, ownership and new use of the property.

NOW THEREFORE BE IT RESOLVED THAT the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That Schedules "A", "B", and "C" of Site Plan Control Agreement, authorized by By-law 2001-49 and registered on title as Instrument No. PR172032 on November 14, 2002 shall be deleted and replaced with the attached Schedule "A", "B", and "C" which shall form part of this Agreement.
2. That all other provisions of Site Plan Control Agreement Instrument No. PR172032 shall remain in force and effect.
3. That By-law 2004-44 shall be hereby repealed in its entirety.
4. That this by-law shall come into force and effect upon passing.

Read a first and second time in open Council this 22nd day of April, 2019.

Read a third and final time, passed, signed and sealed in open Council this 22nd day of April, 2019.

Mayor

Deputy Clerk

**CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL**

**AMENDMENT TO SITE PLAN CONTROL AGREEMENT REGISTERED AS
INSTRUMENT PR172032 AS AUTHORIZED BY BY-LAW 2001-49**

THIS AGREEMENT made in triplicate this 24 day of April, 2019.

BETWEEN: Steven Leslie Hines operating as Distant Shores Trading Co.

Hereinafter called the "Owner" of the first part

AND: The Corporation of the Township of Edwardsburgh Cardinal

Hereinafter called the "Township" of the second part

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal entered into a Site Plan Control Agreement with Gary Bolton operating as Superior Motor Sports by By-law 2001-49 at the regular meeting of Council on August 20, 2001, which Agreement was registered on November 14, 2002 as Instrument No. PR172032; and

WHEREAS the property described in the Site Plan Control Agreement was conveyed to the Owner by Transfer/Deed GC5000 on April 30, 2010; and

WHEREAS Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P. 13, as amended to the Council of the Corporation of the Township of Edwardsburgh/Cardinal to enter into and amend such agreements; and

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal wishes to amend Schedules "A" through "C" to reflect the change in description, ownership and new use of the property.

NOW THEREFORE This Agreement witnesseth that, in consideration of other valuable considerations and the sum of one dollar (\$1.00) of lawful money of Canada now paid by the Owner to the Township (receipt whereof is hereby acknowledged) the parties hereby covenant and agree one with the other as follows:

1. That Schedules "A", "B", and "C" of Site Plan Control Agreement, authorized by By-law 2001-49 and registered on title as Instrument No. PR172032 on November 14, 2002 shall be deleted and replaced with the attached Schedule "A", "B", and "C" which shall form part of this Agreement.
2. That all other provisions of Site Plan Control Agreement Instrument No. PR172032 shall remain in force and effect.

IN WITNESS WHEREOF the parties hereto have executed this Agreement.

THE CORPORATION OF THE TOWNSHIP
OF EDWARDSBURGH CARDINAL

) _____
) Mayor

) _____
) Clerk

We have authority to bind the
Corporation.

Distant Shores Trading Co.

) _____
) Director

) _____
) Director

I/We have authority to bind the
Corporation.

DATED AT Spencerville, ON this 24 day of April, 2019

Matt Sanesho

Steven Leslie Hines

Witness:

Steven Leslie Hines

SCHEDULE "A"
Site Plan Control Agreement

TO AGREEMENT EXECUTED THE 24 day of April, 2019

BETWEEN: STEVEN LESLIE HINES OPERATING AS DISTANT SHORES TRADING
CO.

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

DESCRIPTION OF THE PROPERTY

3223 County Road 2
Lot B Registered Plan No. 63
15R-10014 Parts 7 to 9
Geographic Township of Edwardsburgh
Now Township of Edwardsburgh/Cardinal
County of Leeds & Grenville

SCHEDULE "B"
Site Plan Control Agreement

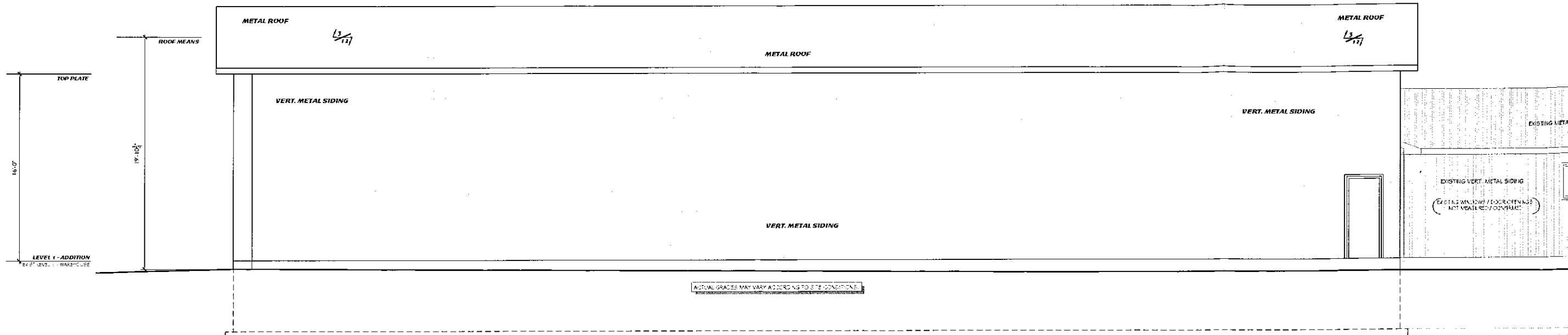
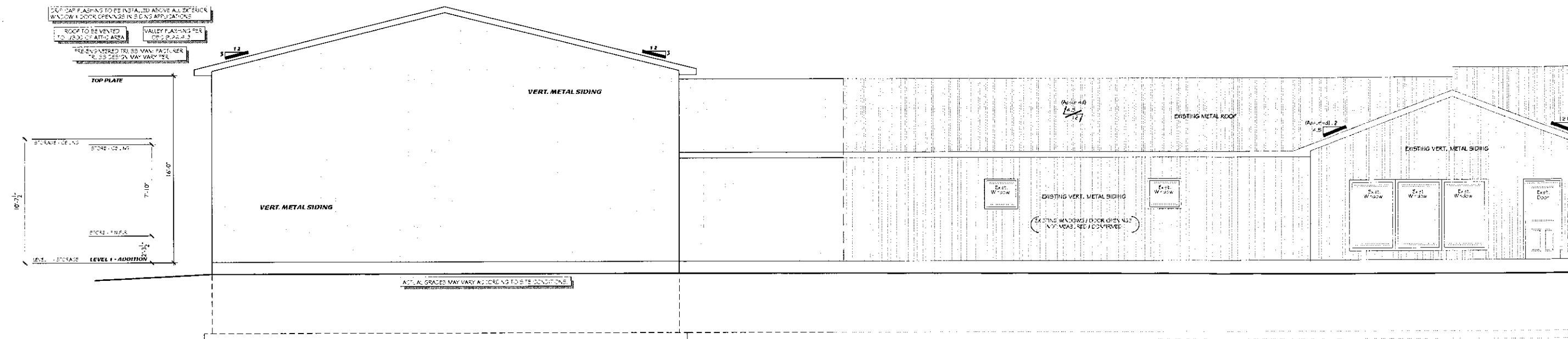
TO AGREEMENT EXECUTED THE 24 day of April, 2019

CONCEPTUAL PLAN SITE PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

Exhibit 1- Site Plan

Exhibit 2 - Elevations

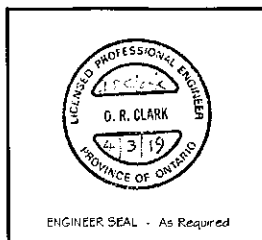
**PROPOSED - EAST ELEVATION****PROPOSED - NORTH ELEVATION**

THREE PLANS FROM THE DATA IN A 1/4" SCALE AND ANY DEVIATION FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, RECOIL SYSTEM, FLASHINGS, DRAINAGE, INSULATION, PAINTED SURFACES, ETC., SHALL BE A SEPARATE DRAWING AND CLEARLY IDENTIFIED BY THE BUILDING DEPARTMENT.

OWNER REQUIREMENTS/SPECIFICATIONS:

- METALLIC SYSTEMS
- ELECTRICAL SYSTEMS
- ROOFING, DRAINAGE, INSULATION, PAINTED SURFACES, ETC., SHALL BE A SEPARATE DRAWING AND CLEARLY IDENTIFIED BY THE BUILDING DEPARTMENT.
- VENTILATION SYSTEMS
- HEATING SYSTEMS
- RECOIL SYSTEMS
- FLASHINGS, DRAINAGE, INSULATION, PAINTED SURFACES, ETC., SHALL BE A SEPARATE DRAWING AND CLEARLY IDENTIFIED BY THE BUILDING DEPARTMENT.

IF ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN BUILDING CODE AND LOCAL BY-LAWS, THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DEPARTMENT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DEPARTMENT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DEPARTMENT.



ENGINEER SEAL - As Required

REV	DATE	DESCRIPTION
1	MAR 5-19	ISSUED FOR PERMIT & CONSTRUCTION
2	MAR 24-19	Revised Proposal per Civil/Structural Review
3	SEP 07-19	ISSUED FOR PERMIT & CONSTRUCTION
4	AUG 22-19	Issued for Design Review per Civil/Structural Review
5	AUG 22-19	Revised per Comments Received - Revisions for Approval
6	AUG 27-19	Issued for Design Review per Civil/Structural Review
7	SEP 07-19	Revised per Comments Received - Revisions for Approval
8	SEP 07-19	Issued for Design Review per Civil/Structural Review

REVISIONS & RELEASES

STRUCTURAL ENGINEER:

EAUSTRUCTURAL &
ENVIRONMENTAL SERVICES

613 - 869 - 0523

derrick.r.clark@rogers.com

www.eauservices.ca
Ottawa, ON

DRAWING:

PROPOSED ELEVATIONS

PROJECT:

Warehouse Addition

DISTANT SHORES TRADING INC.

3223 COUNTY RD 2
JOHNS TOWN, ON

Plan Certification & Validation

This drawing is a plan of a building and is not to be used for any other purpose without the written consent of the designer. The designer is not responsible for any errors or omissions in this drawing. The designer is not responsible for any errors or omissions in this drawing. The designer is not responsible for any errors or omissions in this drawing.

Lead Design Firm:

Annable Designs

ARCHITECTURE-CONSULTING-PLANNING

Brockville Office:
Unit 7 - 2211 Parkside Ave
Brockville, Ontario613 - 926 - 5350
info@annabledesigns.ca
www.annabledesigns.ca

PROJECT ID NUMBER

864

SHEET NUMBER

A4

COMPLETION DATE: JULY 2018

COMPUTER NO: 864-ARCH.DWG

BY: D. T. ANNABLE

SCALE: 1/4" = 1'-0"

Rv.5

ANNABLE DESIGNS

3223 COUNTY RD 2
JOHNS TOWN, ON

DRIP CAP FLASHING TO BE INSTALLED ABOVE ALL EXTERIOR WINDOW & DOOR OPENINGS IN EDGING APPLICATIONS

ROOF TO BE VENTED TO UNOCCUPIED AREA	VALLEY FLASHING PER CDR 9.26.4.3
FRESH WATER, R.O.S. MAX. FACT. PER 1" TO 3" GUTTER IN MAX. WIND RISE	

Figure 1 is an elevation view of a roof section. The vertical height is 16'0". The horizontal distance is 10'7 1/2". The roof is labeled "TOP PLATE" and "LEVEL 1 - ADDITION". The vertical height is divided into a 7'10" section and a 2'7 1/2" section. The horizontal distance is divided into a 5'0" section and a 5'7 1/2" section. The roof pitch is indicated as 5" RISE - 12" RUN.

COMPLETION DATE: JULY 2018
COMPUTER NO: 864-ARCH.DWG
BY: D. T. ANNABLE
SCALE: 1/4" = 1'-0"
R.v.l

SCHEDULE "C"
Site Plan Control Agreement

TO AGREEMENT EXECUTED THE 24 day of April, 2019

BETWEEN: STEVEN LESLIE HINES OPERATING AS DISTANT SHORES TRADING
CO.

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

1. ACCESS FACILITIES
 - a) As per site plan forming Exhibit 1 of Schedule "B"
2. SNOW REMOVAL
 - a) Responsibility of the owner
3. LANDSCAPING
 - a) As per site plan forming Exhibit 1 of Schedule "B" to this agreement
4. REFUSE STORAGE AND DISPOSAL
 - a) The owner shall be responsible for the disposal of refuse from the property
5. LOCATION OF BUILDING STRUCTURES AND FACILITIES
 - a) As per Site Plan forming Exhibit 1 of Schedule "B" to this agreement
6. ELEVATIONS
 - a) As per building elevation plans forming Exhibit 2 of Schedule "B" to this agreement

The applicant(s) hereby applies to the Land Registrar.

Properties

PIN 68155 - 0740 LT
Description PT BLK B PL 63 PORT OF PRESCOTT PT 7 TO 9, 15R10014 EXCEPT PT 1 TO 3, 15R10938; EDWARDSBURGH/CARDINAL; TOWNSHIP OF EDWARDSBURGH/CARDINAL
Address 3223 COUNTY ROAD 2
PRESCOTT

Consideration

Consideration \$0.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL
Address for Service 18 Centre Street
Spencerville, ON
K0E 1X0

This document is not authorized under Power of Attorney by this party.
This document is being authorized by a municipal corporation Patrick Sayeau, Mayor and Debra McKinstry, CAO.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.
This notice is for an indeterminate period
Schedule: See Schedules

Signed By

Carolyn Marie Hedge Box 428, 522 St. Lawrence St. acting for Signed 2019 08 02
Winchester
K0C 2K0 Applicant(s)
Tel 613-774-2670
Fax 613-774-2266
I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

AULT & AULT Box 428, 522 St. Lawrence St. 2019 08 02
Winchester
K0C 2K0
Tel 613-774-2670
Fax 613-774-2266

Fees/Taxes/Payment

Statutory Registration Fee \$64.40
Total Paid \$64.40

File Number

Applicant Client File Number : 1369-372 DISTANT SHORES TRADING CO.

3/9

CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL

SITE PLAN CONTROL AGREEMENT
AS AUTHORIZED BY BYLAW 2001-49

THIS AGREEMENT made in duplicate this 23rd day of August, 2001

BETWEEN: GARY BOLTON OPERATING AS SUPERIOR MOTOR SPORTS

Hereinafter called the "Owner" of the first part

AND: THE CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

Hereinafter called the "Township" of the second part

WHEREAS: Bylaw 2000-28, as amended, of the Corporation of the Township of
Edwardsburgh designated all of the lands in the Township of Edwardsburgh to
be subject to site plan control;

AND WHEREAS: The owner is the registered owner of the lands described in
Schedule "A" to this agreement and which are situate within the Township of
Edwardsburgh;

AND WHEREAS: The described land is zoned as a General Industrial/Highway
Commercial zone under the Township of Edwardsburgh restricted area Zoning
Bylaw 97-30, as amended;

AND WHEREAS: The owner wishes to develop the leased lands according to the
requirements of Bylaw 97-30, as amended;

NOW THEREFORE: This agreement witnesseth that, in consideration of other
valuable considerations and the sum of one dollar (\$1.00) of lawful money of
Canada now paid by the Township to the owner (the receipt whereof is hereby
acknowledged) and in consideration of the mutual covenants hereinafter
expressed, the parties hereto covenant and agree one with the other as follows:

1. This is an agreement made pursuant to the provisions of Section 41 of the
Planning Act, RSO 1990, as amended, and applies to the lands described in
Schedule "A" and Exhibit 1 of Schedule "B" to this agreement which lands are
hereinafter referred to as the owner's lands.
2. That the location of the buildings and structures to be erected on the owner's
lands, location of other facilities and the external appearance and design of the
buildings shall conform to the plans attached hereto as Exhibit 1 and Exhibit 2 of
Schedule "B" to this agreement; provided that minor changes to such plans may
be made by the owner with the prior consent in writing of the Chief Building
Official for the Corporation of the Township of Edwardsburgh/Cardinal.
3. That the owner shall satisfy the conditions, facilities and matters on the owner's
lands as specified in Schedule "C" to this agreement to the satisfaction of the
Chief Building Official for the Corporation of the Township of
Edwardsburgh/Cardinal.

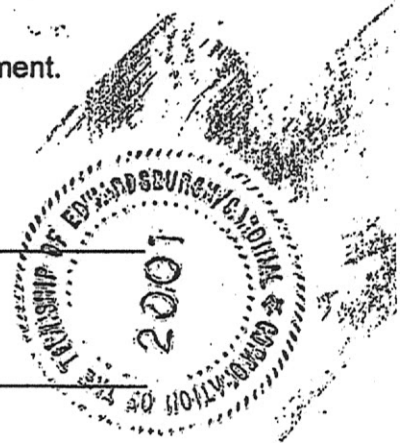
4/9

4. That the conditions, facilities and matters as shown on Schedule "B" and described in Schedule "C" shall be provided and maintained by the owner at his sole risk and expense and to the satisfaction of the Chief Building Official of the Corporation of the Township of Edwardsburgh/Cardinal, and that in default thereof, the provisions of Section 325 and 326 of the Municipal Act, RSO 1990, as amended, shall apply.
5. That if a building permit has not been issued within six months of the date of signing of this agreement, then this agreement will become null and void and a new application must be submitted and approved by the Chief Building Official for the Corporation of the Township of Edwardsburgh/Cardinal before a building permit shall be issued.
6. That the covenants, agreements and conditions herein contained on the part of the lessee shall run with the land and shall be binding upon the parties hereto, and their successors, assigns, respective heirs, executors and administrators.
7. That it is understood and agreed that examination and acceptance of plans, drawings and contract document by any employee of the Corporation of the Township of Edwardsburgh/Cardinal or the satisfying of any requirements of this agreement by the owner does not constitute acceptance of this agreement by the Corporation of the Township of Edwardsburgh/Cardinal, until a Bylaw to authorize this agreement has been passed by the Council of the Corporation of the Township of Edwardsburgh/Cardinal and this agreement is signed by the persons authorized to do so by such Bylaw.
8. That the owner hereby agrees to pay all costs involved in the registration of this agreement and all other costs incurred by the Corporation of the Township of Edwardsburgh/Cardinal with respect to this agreement.

IN WITNESS WHEREOF the parties hereto have executed this agreement.

THE CORPORATION OF THE
TOWNSHIP OF
EDWARDSBURGH/CARDINAL

) David Dobbe
) Head of Council
)
) R. Dewett
) Clerk



SUPERIOR MOTOR SPORTS

) Gary Bolton
Gary Bolton

5/9

SCHEDULE "A"

TO AGREEMENT EXECUTED THE 23rd day of August, 2001.

BETWEEN: GARY BOLTON OPERATING AS SUPERIOR MOTOR SPORTS

AND: THE CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

DESCRIPTION OF THE PROPERTY
3223 County Road 2
Part of Block B – Registered Plan 63
Concession 1
Township of Edwardsburgh/Cardinal
Roll #020-10200

Site Name: Superior Motor Sports

6/9

SCHEDULE "B"

TO AGREEMENT EXECUTED THE 23rd DAY OF August, 2001.

BETWEEN: GARY BOLTON OPERATING AS SUPERIOR MOTOR SPORTS

AND: THE CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH /CARDINAL

MASSING AND CONCEPTUAL PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

Exhibit 1 - Site Plan (Peter E. Martin – Aug. 15, 2001)

Exhibit 2 - Elevations (Peter E. Martin – Aug. 15, 2001)

7/0

WINDMILL RD.

219.59

100.00

96.17

515.14



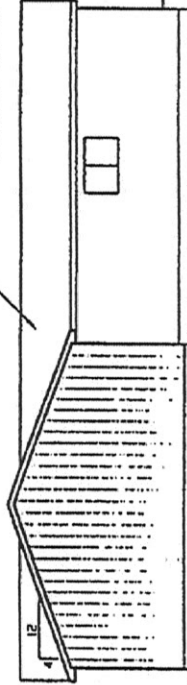
SURFACE DRAINAGE

6' CHAIN LINK FENCE

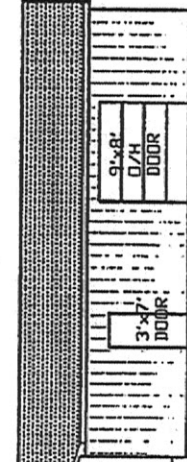
1" = 40' -----
DIMENSION IN FEET

PETER E. MARTIN ENGINEERING LTD.
AUG 15, 2001

EXISTING BUILDING
WOOD FRAME WITH
STEEL ROOF & SIDING



EAST ELEVATION



SOUTH ELEVATION

40'-0"

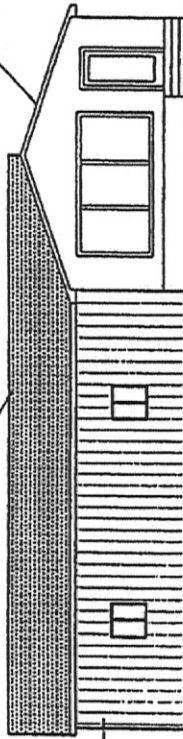
24'-6"

PRE-PAINTED STEEL ROOFING

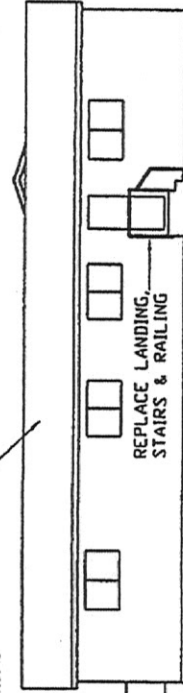
PRE-PAINTED
STEEL SIDING

CONC. SLAB ON GRADE
SEE DETAIL

EXISTING BUILDING
WOOD FRAME WITH
STEEL ROOF & SIDING



NORTH ELEVATION



WEST ELEVATION

ELEVATIONS

SUPERIOR MOTOR SPORTS
3223 COUNTY RD. 2
TWP OF EDWARDSBURGH/CARDINAL

9/9

SCHEDULE "C"

TO AGREEMENT EXECUTED THE 23rd DAY OF August, 2001.

BETWEEN: GARY BOLTON OPERATING AS SUPERIOR MOTOR SPORTS

AND: THE CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

1. ACCESS FACILITIES

- a) As per site plan forming Exhibit 1 of Schedule "B".

2. SNOW REMOVAL

- a) Responsibility of the owner.

3. LANDSCAPING

- a) As per site plan forming Exhibit 1 of Schedule "B" to this Agreement.

4. REFUSE STORAGE AND DISPOSAL

- a) The owner shall be responsible for the disposal of refuse from his property.

5. LOCATION OF BUILDING STRUCTURES AND FACILITIES

- a) As per Site Plan forming Exhibit 1 of Schedule "B" to this Agreement.

6. ELEVATIONS

- a) As per Building Elevation Plans forming Exhibit 2 of Schedule "B" to this Agreement.

The applicant(s) hereby applies to the Land Registrar.

Properties

PIN 68155 - 0740 LT
Description PT BLK B PL 63 PORT OF PRESCOTT PT 7 TO 9, 15R10014 EXCEPT PT 1 TO 3,
15R10938; EDWARDSBURGH/CARDINAL; TOWNSHIP OF
EDWARDSBURGH/CARDINAL
Address 3223 COUNTY ROAD 2
PRESCOTT

Consideration

Consideration \$0.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL
Address for Service 18 Centre Street
Spencerville, ON
K0E 1X0

This document is not authorized under Power of Attorney by this party.
This document is being authorized by a municipal corporation Patrick Sayeau, Mayor and Debra McKinstry, CAO.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.
This notice is for an indeterminate period
Schedule: See Schedules

Signed By

Carolyn Marie Hedge	Box 428, 522 St. Lawrence St. Winchester K0C 2K0	acting for Applicant(s)	Signed	2019 08 02
---------------------	--	----------------------------	--------	------------

Tel 613-774-2670
Fax 613-774-2266
I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

AULT & AULT	Box 428, 522 St. Lawrence St. Winchester K0C 2K0	2019 08 02
-------------	--	------------

Tel 613-774-2670
Fax 613-774-2266

Fees/Taxes/Payment

<i>Statutory Registration Fee</i>	\$64.40
<i>Total Paid</i>	\$64.40

**CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL**

**AMENDMENT TO SITE PLAN CONTROL AGREEMENT REGISTERED AS
INSTRUMENT PR172032 AS AUTHORIZED BY BY-LAW 2001-49**

THIS AGREEMENT made in triplicate this 24 day of April, 2019.

BETWEEN: Steven Leslie Hines operating as Distant Shores Trading Co.

Hereinafter called the "Owner" of the first part

AND: The Corporation of the Township of Edwardsburgh Cardinal

Hereinafter called the "Township" of the second part

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal entered into a Site Plan Control Agreement with Gary Bolton operating as Superior Motor Sports by By-law 2001-49 at the regular meeting of Council on August 20, 2001, which Agreement was registered on November 14, 2002 as Instrument No. PR172032; and

WHEREAS the property described in the Site Plan Control Agreement was conveyed to the Owner by Transfer/Deed GC5000 on April 30, 2010; and

WHEREAS Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P. 13, as amended to the Council of the Corporation of the Township of Edwardsburgh/Cardinal to enter into and amend such agreements; and

WHEREAS the Council of the Corporation of the Township of Edwardsburgh/Cardinal wishes to amend Schedules "A" through "C" to reflect the change in description, ownership and new use of the property.

NOW THEREFORE This Agreement witnesseth that, in consideration of other valuable considerations and the sum of one dollar (\$1.00) of lawful money of Canada now paid by the Owner to the Township (receipt whereof is hereby acknowledged) the parties hereby covenant and agree one with the other as follows:

1. That Schedules "A", "B", and "C" of Site Plan Control Agreement, authorized by By-law 2001-49 and registered on title as Instrument No. PR172032 on November 14, 2002 shall be deleted and replaced with the attached Schedule "A", "B", and "C" which shall form part of this Agreement.
2. That all other provisions of Site Plan Control Agreement Instrument No. PR172032 shall remain in force and effect.

IN WITNESS WHEREOF the parties hereto have executed this Agreement.

THE CORPORATION OF THE TOWNSHIP
OF EDWARDSBURGH CARDINAL

)

) Mayor

)

) Clerk

We have authority to bind the
Corporation.

Distant Shores Trading Co.

)

) Director

)

) Director

I/We have authority to bind the
Corporation.

DATED AT Spencerville, ON this 24 day of April, 2019

Matt Sanchez

Witness:

Steven Leslie Hines

Steven Leslie Hines

SCHEDULE "A"
Site Plan Control Agreement

TO AGREEMENT EXECUTED THE 24 day of April, 2019

BETWEEN: STEVEN LESLIE HINES OPERATING AS DISTANT SHORES TRADING
CO.

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

DESCRIPTION OF THE PROPERTY

3223 County Road 2
Lot B Registered Plan No. 63
15R-10014 Parts 7 to 9
Geographic Township of Edwardsburgh
Now Township of Edwardsburgh/Cardinal
County of Leeds & Grenville

SCHEDULE "B"
Site Plan Control Agreement

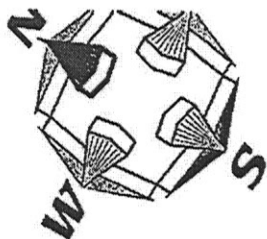
TO AGREEMENT EXECUTED THE 24 day of April, 2019

CONCEPTUAL PLAN SITE PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

Exhibit 1- Site Plan

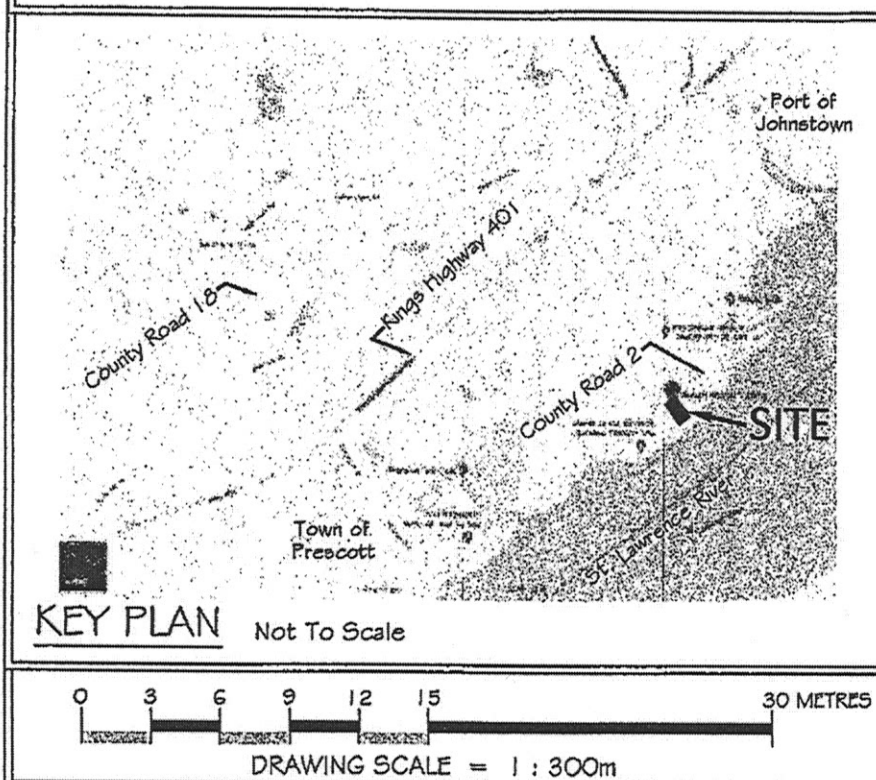
Exhibit 2 - Elevations



PART 6, 15R-6684
 DEPOSITED PLAN No. 54)
 (FORMER HIGHWAY No. 16)
 (M.T.O. P-1586)
 49
 PLAN No.
 DEPOSITED
 (SIGNED AS WINDMILL ROAD)
 (REVERTED TO THE MUNICIPALITY BY DEPOSITED PLAN No. 54)
 N49°42'40"E 24.00

For: DISTANT SHORES TRADING CO.

Being:
 PART OF LOT B REGISTERED PLAN 63
 Geographic Township of EDWARDSBURGH
 TOWNSHIP OF EDWARDSBURGH/CARDINAL
 COUNTY OF GRENVILLE

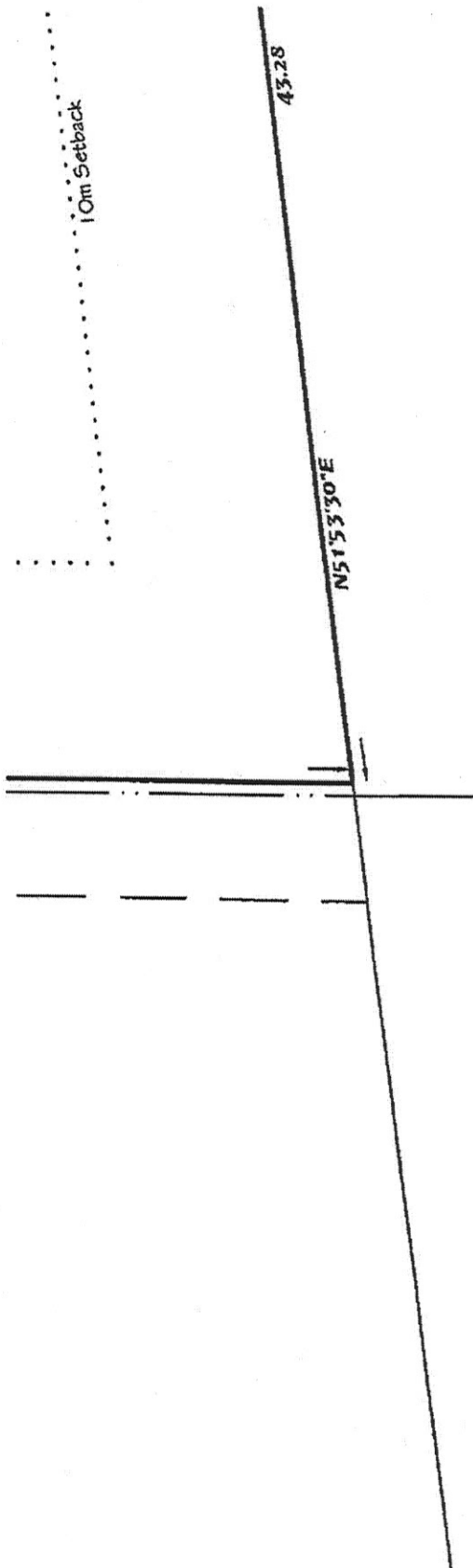


DESIGN NOTES:

- D1. This Site Plan should be read in conjunction with Architectural Plans that have been prepared by Annable Designs for this Property.
- D2. All Design Elements and Site Construction Features shall conform to the Existing Official Plan and Zoning By-Laws of the Local Township Authority.

GENERAL NOTES:

- G1. This is not a Plan of Survey. Plan information for, Boundary, Elevations, and Site Features have been compiled from Site Plan prepared by Ron M Jason Surveying Ltd., File #18-15-31 dated July 17, 2018.
- G2. Measurements have been conducted by Annable Designs to confirm only certain areas of the Exterior Features and Structures of this property. Some Features are to be assumed "Approximate" or "For Illustration Only".
- G3. Distances shown on this Plan are in METERS and can be converted to Feet by Dividing by 0.3048.
- G4. Elevations are Geodetic and Derived from GPS, NAD83, CSRS 1997.0.
- G5. Site Benchmark provided by Ron M Jason Surveying LTD., is a Nail on Hydro Pole along the North Easterly Property Line, having a Geodetic Elevation of 80.656m.



- G6. Contractor to contact utility companies to determine Type, Location and Configuration of Any and All Services.
- G7. Contractor to obtain all necessary permits and to verify all dimensions and elevations prior to start of construction.
- G8. Parking Spaces (TYP) to be 6.0m x 3.0m. Handicap Parking to be 6.0m x 3.7m. Unless otherwise specified in the Township By-Laws.

2	DTA	SEPT 07-18	ISSUED FOR PERMIT & CONSTRUCTION
1	DTA	SEPT 06-18	Updated Site Plan per Architectural Plans
--	DTA	AUG 01-18	Preliminary Site Plan to Client
#	By	Date of Rev.	Description of Revision

PLAN LEGEND:			
X 99.99	- DENOTES Existing Spot Elevation per Jordan-Bennett Geomatics	10.80m	- DENOTES Proposed Building Tie
⊠ 99.99	- DENOTES Benchmark or Special Feature per Jordan-Bennett Geomatics		- DENOTES Proposed Building
FIN.FLR	- DENOTES Finished Floor per Jordan-Bennett Geomatics		
9.99m (Exist)	- DENOTES Existing Building Tie		
	- DENOTES Existing Building		

Planning Consultant / Designer

Annable Designs

ARCHITECTURE-CONSULTING-PLANNING

Brockville Offices:
Unit 7 - 2211 Parkedale Ave
Brockville, Ontario

613 - 926 - 5350
info@annabledesigns.ca
www.annabledesigns.ca

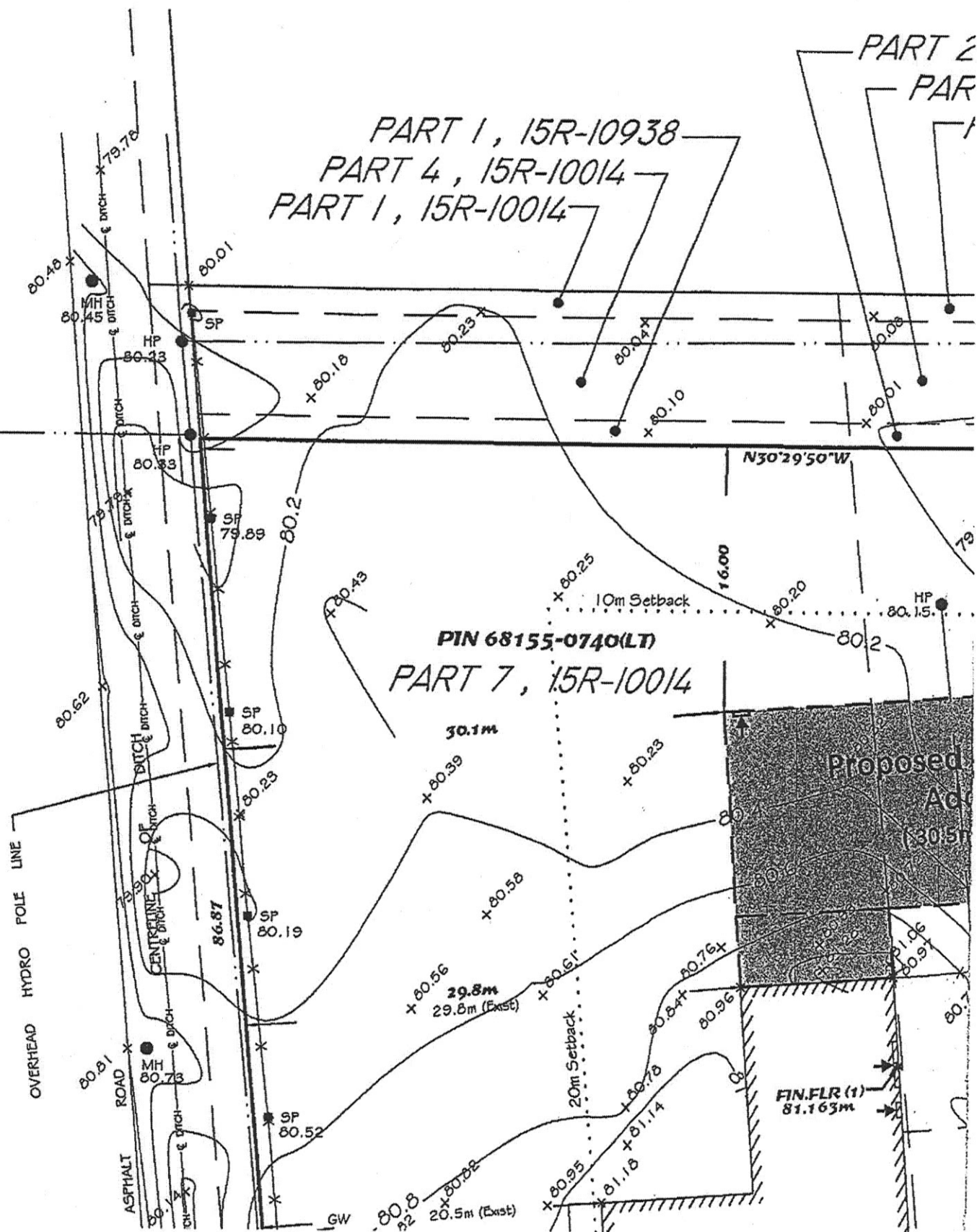
PROJECT ID NUMBER	SHEET NUMBER
871	SP1

AUTHORIZATION SIGNATURE - CONSULTANT	COMPLETION DATE: JULY 2018
	COMPUTER NO: 871-SP1.DWG
ANNABLE DESIGNS	BY: D. T. ANNABLE
	R v. 2

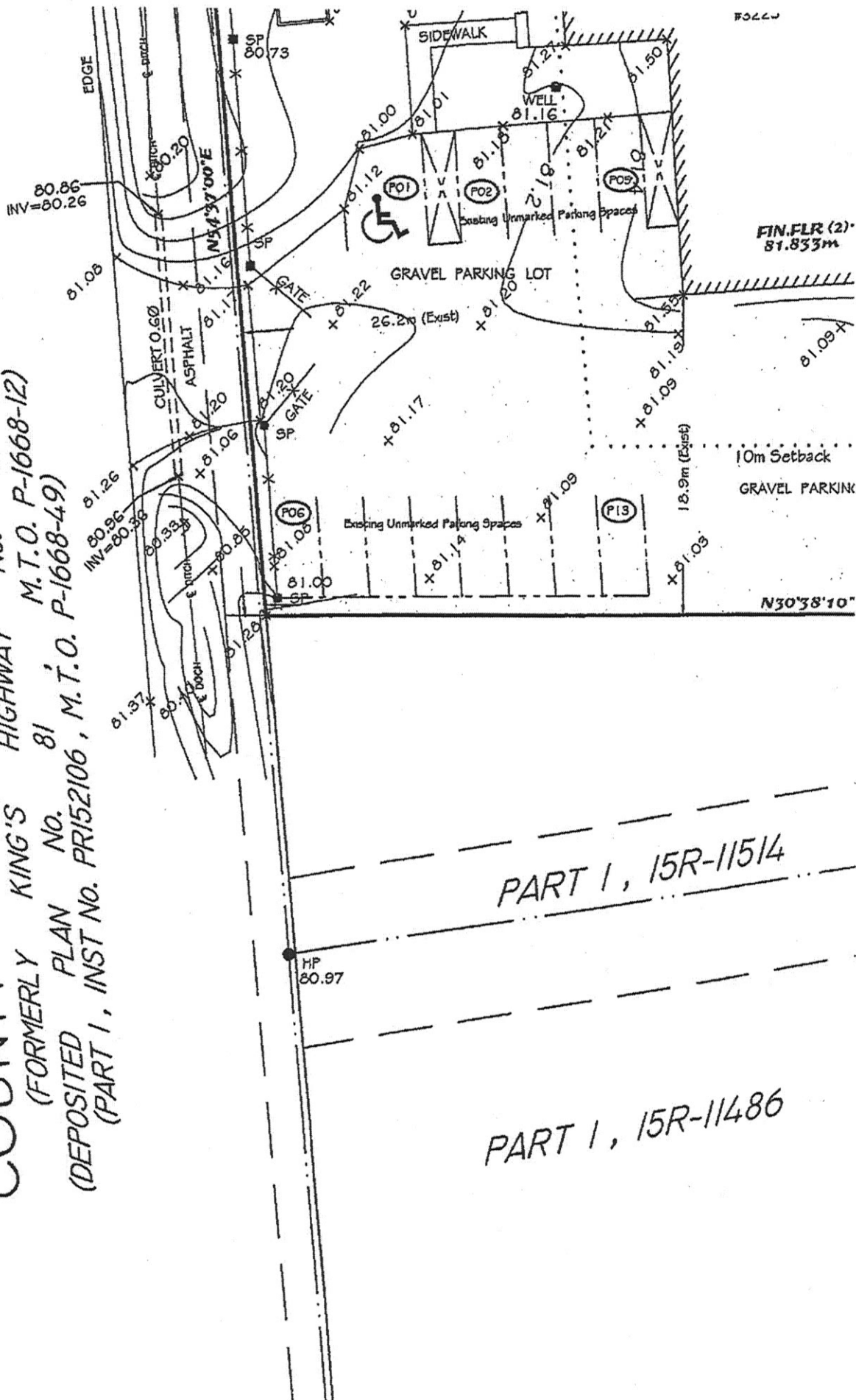
ion & Validation

s plan is not in ORIGINAL RED INK,
s considered Preliminary or an
e. Please Confirm with Annable
Unauthorized Plans for any purpose

Annable Designs IS NOT a Survey Firm. This IS NOT a Plan of Survey.
This Plan should is to be read as a Compiled Plan of Data Available
to the Public. This Plan shall not be used for any other purpose except
for the purpose indicated in the Title Block.

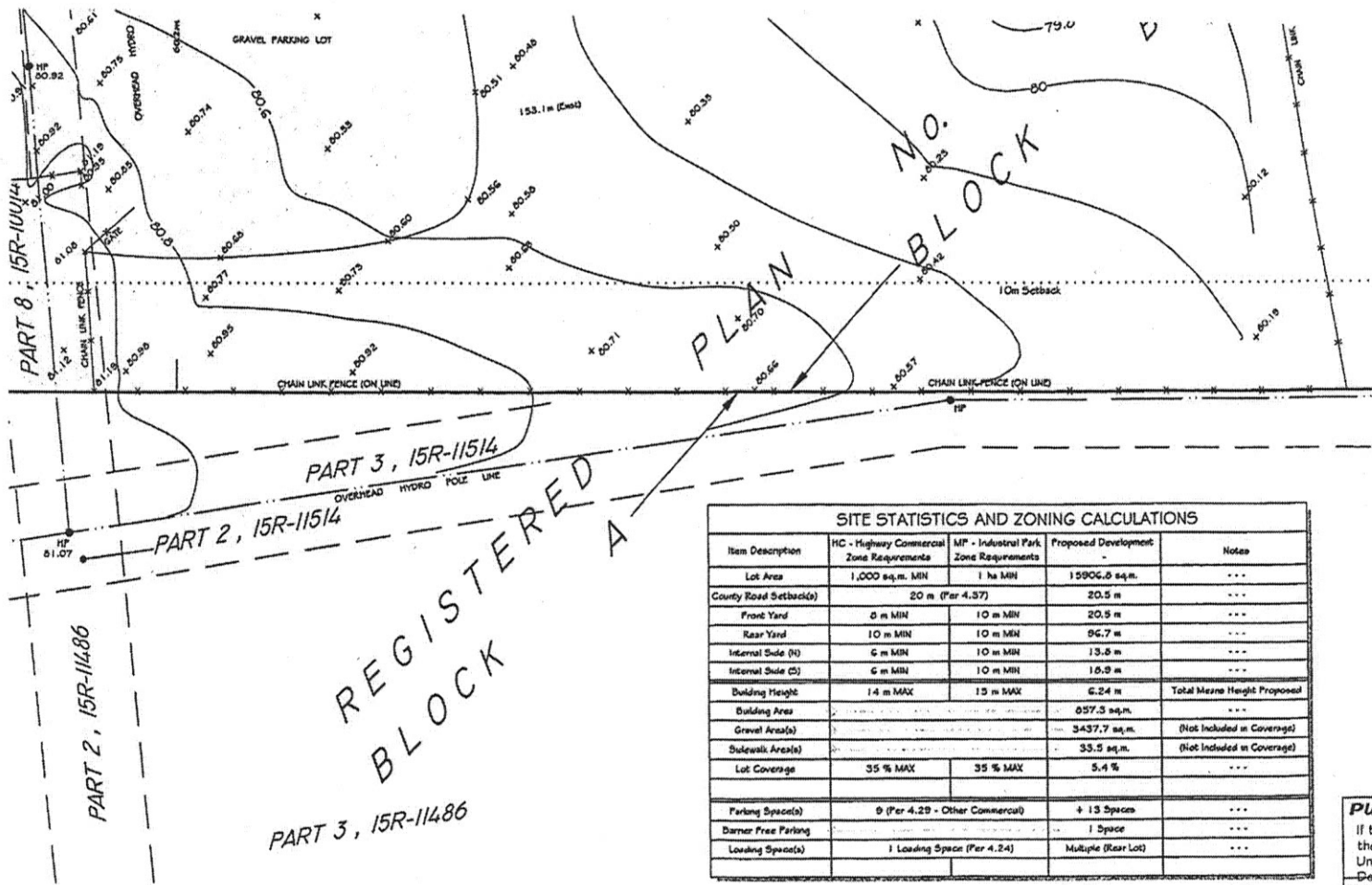


COUNTY ROAD No. 2
 (FORMERLY KING'S HIGHWAY No. 2)
 PLAN No. 81 M.T.O. P-1668-12
 (DEPOSITED INST No. P-1668-49)
 (PART 1, INST No. P-152106, M.T.O. P-1668-49)



PART 1, 15R-11514

PART 1, 15R-11486



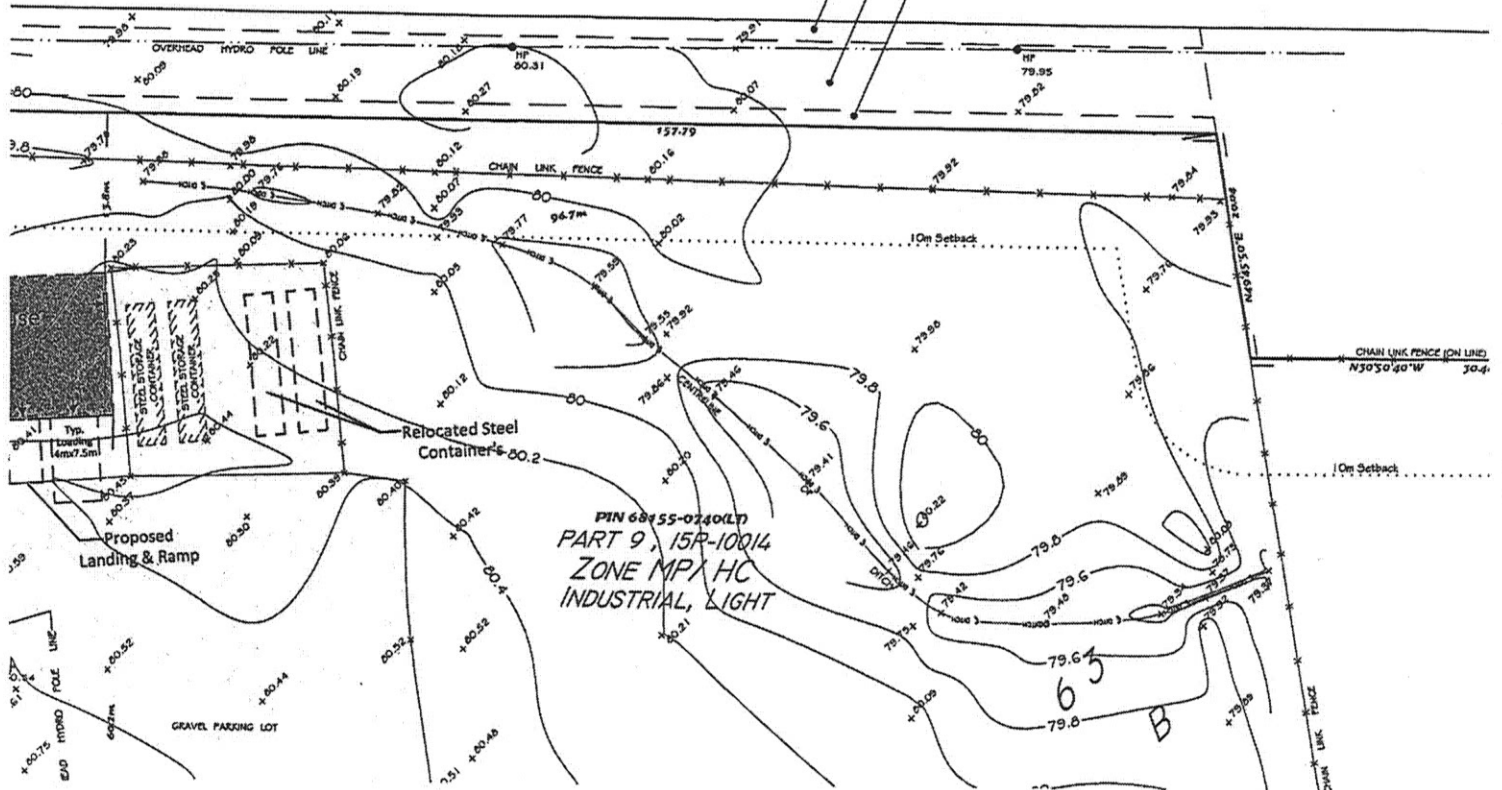
SITE STATISTICS AND ZONING CALCULATIONS				
Item Description	HC - Highway Commercial Zone Requirements	MP - Industrial Park Zone Requirements	Proposed Development	Notes
Lot Area	1,000 sq.m. MIN	1 ha MIN	15906.6 sq.m.	---
County Road Setback(s)	20 m (Per 4.37)		20.5 m	---
Front Yard	0 m MIN	10 m MIN	20.5 m	---
Rear Yard	10 m MIN	10 m MIN	96.7 m	---
Internal Side (H)	6 m MIN	10 m MIN	13.6 m	---
Internal Side (S)	6 m MIN	10 m MIN	16.9 m	---
Building Height	14 m MAX	15 m MAX	6.24 m	Total Meane Height Proposed
Building Area			657.3 sq.m.	---
Gravel Area(s)			3437.7 sq.m.	(Not Included in Coverage)
Sidewalk Area(s)			33.5 sq.m.	(Not Included in Coverage)
Lot Coverage	35 % MAX	35 % MAX	5.4 %	---
Parking Space(s)	9 (Per 4.29 - Other Commercial)		+ 13 Spaces	---
Barrier Free Parking			1 Space	---
Loading Space(s)	1 Loading Space (Per 4.24)		Multiple (Rear Lot)	---

Pla
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Doe

0438
15R-10014
15R-10014

SITE BENCH MARK
NAIL ON WESTERLY SIDE OF
HYDRO POLE (0.3m Above Grade)
ELEVATION = 80.656m

PART 3, 15R-10938
PART 6, 15R-10014
PART 3, 15R-10014



SCHEDULE "C"
Site Plan Control Agreement

TO AGREEMENT EXECUTED THE 24 day of April, 2019

BETWEEN: STEVEN LESLIE HINES OPERATING AS DISTANT SHORES TRADING
CO.

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

1. ACCESS FACILITIES

- a) As per site plan forming Exhibit 1 of Schedule "B"

2. SNOW REMOVAL

- a) Responsibility of the owner

3. LANDSCAPING

- a) As per site plan forming Exhibit 1 of Schedule "B" to this agreement

4. REFUSE STORAGE AND DISPOSAL

- a) The owner shall be responsible for the disposal of refuse from the property

5. LOCATION OF BUILDING STRUCTURES AND FACILITIES

- a) As per Site Plan forming Exhibit 1 of Schedule "B" to this agreement

6. ELEVATIONS

- a) As per building elevation plans forming Exhibit 2 of Schedule "B" to this agreement